



11 Keeling Road, Stoke-On-Trent, ST10 1HA
Offers around £220,000



Kevin Ford & Co. Ltd.
Chartered Surveyors, Estate Agents & Valuers

This beautifully presented semi-detached home has been thoughtfully upgraded by the current owner, offering a blend of modern comfort and style. Upon entry, you are welcomed by a spacious entrance hall that leads to a bright and inviting lounge, featuring a contemporary modern fireplace and a large bay window, offering lovely views of the front garden. The kitchen spans the rear of the property, boasting elegant light grey shaker-style units and integrated appliances, providing a sleek and functional space for cooking and entertaining. Adjoining the kitchen is a rear-facing UPVC conservatory, designed to accommodate both sitting and dining areas, with patio doors that open out to the rear garden, creating a seamless indoor-outdoor flow. Upstairs, the property offers two generously sized double bedrooms, a well-proportioned single bedroom, and a stylish bathroom finished in chic navy and marble-style decor, providing a sophisticated retreat. Externally, the front of the property features a driveway with ample parking space, complemented by a neatly maintained lawned fore-garden. Gated access to the rear leads to a beautifully landscaped, enclosed lawned garden with flower borders and a paved patio area, perfect for outdoor relaxation. Additionally, the property benefits from a garage, providing valuable storage space. This charming home offers the ideal balance of modern upgrades, functional living spaces, and excellent outdoor areas, making it the perfect choice for families or those looking to downsize.



The Accommodation Comprises

Entrance Porch

The property features a storm porch that provides shelter and access to the home through a UPVC door and has the benefit of oak flooring.

Entrance Hall

Complemented by a stylish radiator, adding warmth.

Lounge

15'0" (max) x 15'0" (4.57m (max) x 4.57m)

Features a white Adam-style fireplace with a black granite effect inset and hearth, complemented by an inset fitted fire. A bay window offers a charming view of the front elevation.

Modern Kitchen

14'10" x 9'3" (4.52m x 2.82m)

The kitchen is fitted with a comprehensive range of grey shaker-style units, both high and low level, providing ample work surface space. Tiled splash-backs and glass display cabinets add to the aesthetic appeal. The kitchen also offers space and plumbing for an automatic washing machine and dishwasher, as well as built-in appliances including an oven, induction hob, and extractor hood. A white resin sink unit with a drainer and mixer tap completes the setup. The room is finished with wooden-effect flooring, and a UPVC window provides views into the conservatory, with access via a door.

Conservatory

13'2" x 10'11" (4.01m x 3.33m)

A spacious area, ideal for both sitting and dining, with tiled flooring and a radiator for added comfort. Double doors open out to the garden, creating a seamless transition between indoor and outdoor living.

Rear Entrance Hall

Gives access to the outside and also the:

Guest Cloakroom

6'2" x 8'0" (1.88m x 2.44m)

Fitted with a low-level WC offering convenient and functional facilities.

First Floor

Stairs rise from the Entrance Hall offers access to all bedrooms and Bathroom. There is an understairs storage cupboard also for extra storage.

Bedroom One

12'1" x 10'4" (3.68m x 3.15m)

The main bedroom features a bay window, allowing plenty of natural light, and includes a built-in wardrobe for added storage. A radiator ensures the room remains warm.

Bedroom Two

12'4" x 9'10" (3.76m x 3.00m)

The second double bedroom offers a window that fills the room with natural light, along with a radiator.

Bedroom Three

9'4" x 7'10" (2.84m x 2.39m)

Featuring a window that brings in natural light and a radiator.

Family Bathroom

7'4" x 7'1" (max) (2.24m x 2.16m (max))

The bathroom is fitted with a panel bath, complete with a chrome mixer tap and an overhead plumbed-in shower, complemented by a side glass screen. The walls are adorned with marble-effect tiles, creating a luxurious feel. A navy vanity unit with storage cupboards and a wash hand basin, also with a mixer tap, is topped with an overhead mirror. The room also includes a low-level flush WC and a tiled floor. A privacy window ensures natural light while maintaining seclusion.

Outside

The property is approached via a driveway providing ample parking, with a lawned garden to the front and established hedging offering added privacy. Gated access leads to the rear, where a detached garage offers additional outdoor storage. The rear garden is generously sized, featuring a well-maintained lawn edged with flower borders. A large Indian stone patio area provides an excellent space for outdoor entertaining.

Services

All mains services are connected. The Property has the benefit of GAS CENTRAL HEATING and UPVC DOUBLE

GLAZING. The loft is part boarded with ladder and lighting. The current vendors installed a new boiler and new radiators in every room September 2020. The boiler has been serviced every year and has 5 years remaining on the guarantee.

Tenure

We are informed by the Vendors that the property is Freehold, but this has not been verified and confirmation will be forthcoming from the Vendors Solicitors during normal pre-contract enquiries.

Viewing

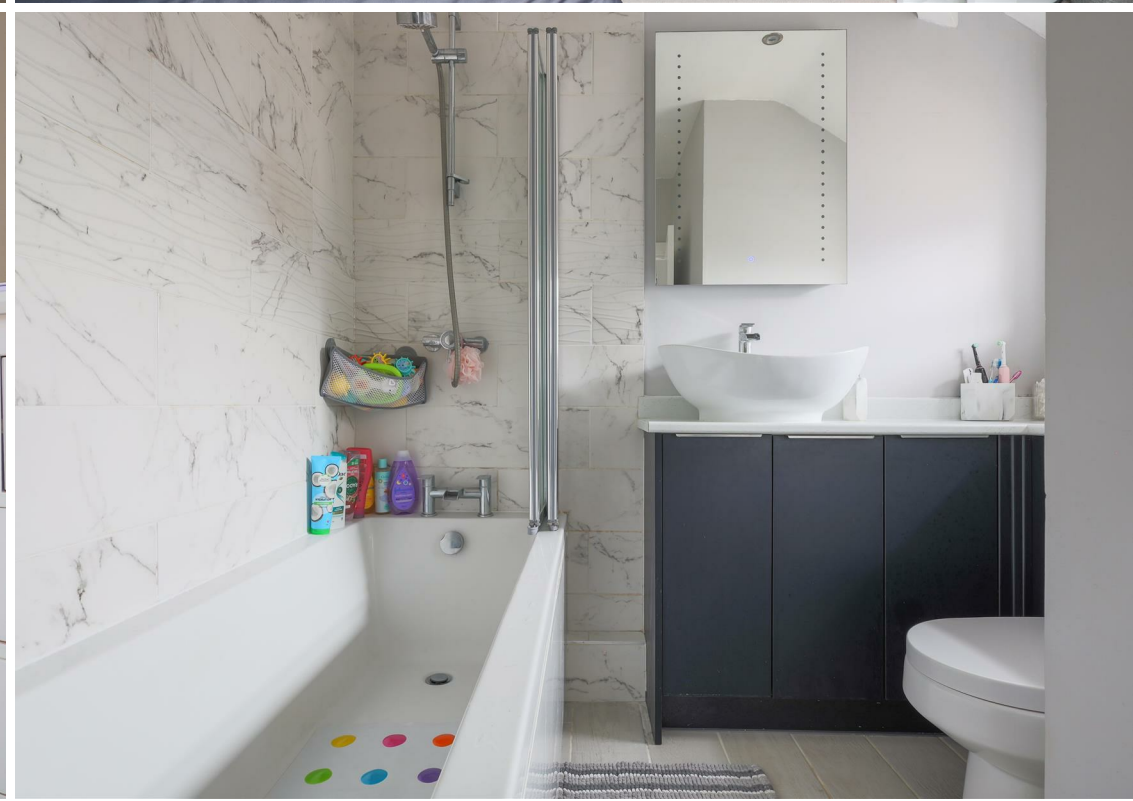
Strictly by appointment through the Agents, Kevin Ford & Co Ltd, 19 High Street, Cheadle, Stoke-on-Trent, Staffordshire, ST10 1AA (01538) 751133.

Mortgage

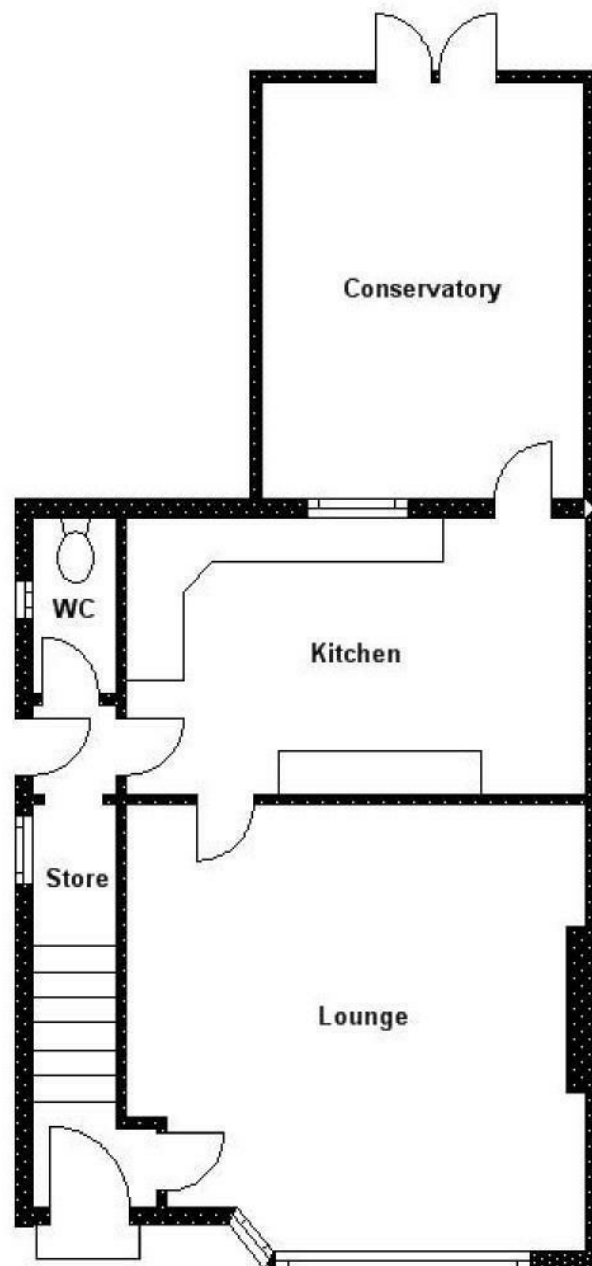
Kevin Ford & Co Ltd operate a FREE financial & mortgage advisory service and will be only happy to provide you with a quotation whether or not you are buying through our Office.

Agents Note

None of these services, built in appliances, or where applicable, central heating systems have been tested by the Agents and we are unable to comment on their serviceability.







Energy Efficiency Rating		
	Current	Potential
Very energy efficient - lower running costs		
(92 plus) A		82
(81-91) B		
(69-80) C		
(55-68) D	62	
(39-54) E		
(21-38) F		
(1-20) G		
Not energy efficient - higher running costs		
England & Wales		EU Directive 2002/91/EC
Environmental Impact (CO ₂) Rating		
	Current	Potential
Very environmentally friendly - lower CO ₂ emissions		
(92 plus) A		
(81-91) B		
(69-80) C		
(55-68) D		
(39-54) E		
(21-38) F		
(1-20) G		
Not environmentally friendly - higher CO ₂ emissions		
England & Wales		EU Directive 2002/91/EC

